

**Appendix S
Development Fees and Receipt**

The following are a list of development fees for Jack County. These fees are subject to change.

Plat without a designated floodplain: \$2000.00 + \$10.00 per lot (33)

Plat in a designated floodplain: \$2500.00 + \$10.00 per lot

Final Plat: \$250.00

Total Development Fees due with Application:	\$ 2,330 ⁰⁰
Inspection Fees pursuant to Section 2.8.4	\$
Total Fees due:	\$

Receipt of Development and ^{Application}~~Inspection~~ Fees:

On this date, the sum of \$ 2,330⁰⁰ was received and receipt given by the Treasurer of Jack County.



Jack County Treasurer

On this date


TODD F CAST
1200 E DRY CREEK RD
POOLVILLE TX 76487

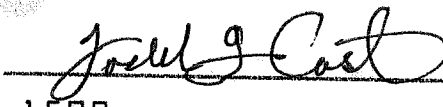
1599
88-2265/1131-24

6/9/23 DATE

☒ CHECK ☐ ARBOR
TRADE PROTECTION

PAY TO THE ORDER OF Jack County \$ 2330⁰⁰
Two thousand three hundred thirty & No/100 DOLLARS

 **PROSPERITY BANK®**
Jacksboro Banking Center
201 South Main • Jacksboro, TX 76458
972-461-7872 www.prosperitybankusa.com

FOR Station Meadows Plat Filing  RP

⑆113122655⑆ 3876364⑆ 1599

Photo Safe Deposit Details on back

Appendix A1
Application for Subdivision of Land in
Jack County, Texas

1. Name of Applicant: Stallion Meadows Estates, LLC

2. Name of Subdivision: Stallion Meadows Estates

3. Designated Contact Person for Applicant:

a. Name: Todd F. Cast

b. Address: 110 W. I-20 Frontage Rd., Ste. 120

c. City/Zip: Weatherford, TX 76086

d. Phone Number: (214) 674-8303

FILED FOR RECORD

____ O'CLOCK ____ M

JUL 10 2023

4. Name of all Title Owner(s) of Property to be sub-divided:

a. Name: Stallion Meadows Estates, LLC

b. Address: 665 Simmons Rd.

c. City/Zip: Williamstown, MA. 01267

d. Phone Number: (800) 710-0977

VANESSA JAMES, County Clerk
JACK COUNTY, TEXAS

BY _____ DEPUTY

5. Jack County Appraisal District Tract or Parcel Identification
Number for land to be developed: 6141 and 6142

6. County Commissioner Precinct in which land to be developed is
located: Precinct 2

7. Location of Land to be Developed:


a. Legal or Mailing Address: 1150 DPS Tower Rd., Perrin, TX 76486

b. 911 Address: 1150 DPS Tower Rd., Perrin, TX 76486

c. Coordinates: N 7048189.53 E 2115122.99

d. Topo or other suitable map depicting entire area to be
subdivided.

8. Certifications Required by Subdivision Regulations:

- ~~TC~~ a. ☒ 1. Application for Subdivision
- N/A ~~2. Application for Manufactured Home Rental Community~~
- Judge b. ☒ Certificate of Fire Department
- N/A c. ~~1. Certificate of Dedication by Owner/individual~~
- ~~TC~~ ~~2. Certificate of Dedication by Owner/corporation~~
- Judge d. ☒ Certificate of County Approval of Plat and Recording
- Bannister e. ☒ Certificate of Water/Wastewater Supply
- Zane f. ☒ Certificate of Surveyor
- Chad g. ☒ Certificate of Engineer
- h. ☒ Certificate of OSSF Inspector (if applicable)
- MM i. ☒ Certificate of Private Road maintenance
- N/A j. ~~Certificate that Subdivider seeks County Roads maintenance~~
- TC k. ☒ Certificate of County Taxes Paid
- Kenny l. ☒ Permit to Construct Driveway within County Road R-O-W  Nicole Dr.
- Tri-County m. ☒ Notice of Proposed Utility in R-O-W
- N/A n. ~~Plans and Specifications for Cattleguard~~
- Chad o. ☒ Typical Cross Section of Road
- Chad p. ☒ Summary of Road Standards > same document
- TC q. ☒ Lienholder Acknowledgment
- N/A r. ~~Application for Revisions to Existing Plat~~
- TC s. ☒ Receipt for Required Fees:
- TC t. ☒ Required number of copies of plat, if required, are provided:
6 copies

Jack Co. Public Works
100 N. Main, #206
Jacksboro, TX 76458
(940) 567-2111 or 2241

Appendix B

CERTIFICATE OF FIRE DEPARTMENT

THE STATE OF TEXAS

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COUNTY OF JACK

I, Jeff Jackson, an authorized agent of the Jack County River fire department, have inspected the property described as the Stallion Meadows subdivision of Jack County, Texas, and I do hereby certify that the subdivision as platted will satisfy the requirements of the Jack County Subdivision Regulation, specifically sections 2.2, 2.4.3 (d), 2.5(F), of said regulation, subject to final inspection as built upon the ground.

May, A.D., 2023, WITNESS MY HAND AND SEAL OF OFFICE this the 4th day of



Ass't F.D. Chrl
COUNTY CLERK
JACK COUNTY, TEXAS

Appendix C (2)

CERTIFICATE OF DEDICATION BY OWNER/SUBDIVIDER/developer
(When owner/subdivider/developer is a Corporation)

THE STATE OF TEXAS §
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COUNTY OF JACK §

KNOW ALL MEN BY THESE PRESENT, that Stallion Meadows Estates, LLC, a corporation organized and existing under the laws of the State of Texas, with its home address at 665 Simmons Road Williamstown, MA 01267 and owner/subdivider/ or developer of 113.126 acres of land out of the S.P.R.R. CO. Abs. 567 Survey, in Jack County, Texas, as conveyed to it by deed dated Nov. 3, 2022 and recorded in Volume 1018, Page 150, Real Property Records of Jack County, **DOES HEREBY SUBDIVIDE** 113.126 acres of land out of said Survey,

(Note: if the subdivision lies in more than one survey, determine the acreage in each survey and repeat for each original survey within the subdivision)

to be known as the Stallion Meadows Estates, LLC Subdivision, in accordance with the plat shown hereon, subject to any and all easements or restrictions heretofore granted and does hereby dedicate to the public (or "owner/subdivider/developer of the property shown hereon" for private streets) the use of the streets and easements shown hereon.

IN WITNESS WHEREOF the said Stallion Meadows Estates, LLC has caused these present to be executed by its Todd Cast, thereunto duly authorized, this the 27th day of March, A.D., 2023.

Stallion Meadows Estates, LLC
(Name, Title)

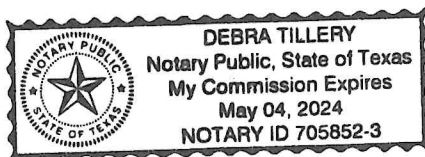
ATTEST: Judy G. Cast, Acq. Manager
(Name, Title)

THE STATE OF TEXAS §
 §
COUNTY OF JACK §

BEFORE ME, the undersigned authority, on this day personally appeared Todd Cast known to me to be the person whose name is subscribed to the foregoing instrument as an officer of Stallion Meadows Est. LLC and acknowledged to me that the foregoing was executed in such capacity as the act of said corporation for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 27th day of March, A.D., 2023.

[Signature]
Notary Public in and for the State of Texas



Vanessa James
COUNTY CLERK



100 N. Main St. Suite 208
Jacksboro, TX 76458-1746
PHONE (940) 567-2111

DO NOT DESTROY
WARNING-THIS IS PART OF THE OFFICIAL RECORD

INSTRUMENT NO. 20230002334
FILED FOR RECORD ON : 8/22/23 2:13 PM # of Pages: 2
SUBMITTER: STALLION MEADOWS ESTATES LLC
RETURN TO:
FILED IN COMMISSIONER COURT MINUTES
PICK UP

I hereby certify that this instrument was FILED in file number Sequence
on the date and at the time stamped here on by me and was duly
RECORDED in the Official Public Records of Jack County, TX.

Vanessa James
County Clerk, Jack County, Texas

BY:

Suzanne Brooks

Deputy



**ANY PROVISION WHICH RESTRICTS THE SALE, RENTAL OR USE OF THE DESCRIBED REAL PROPERTY
BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW**

Appendix D

CERTIFICATE OF COUNTY APPROVAL OF PLAT AND RECORDING

THE STATE OF TEXAS

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COUNTY OF JACK

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I, Vanessa James, County Clerk of Jack County, Texas, do hereby certify that the foregoing instrument of writing with its certificate of authentication was filed for record in my office on the 22nd day of August, 2023, at 2:13 o'clock P m., and duly recorded on the 22nd day of August, A.D., 2023, at 2:13 o'clock P m., in the Real Property Records of Jack County, Texas in Volume NA, Page NA. Instrument # 20230002331

WITNESS MY HAND AND SEAL OF OFFICE this the 22nd day of August, A.D., 2023.



Vanessa James
COUNTY CLERK
JACK COUNTY, TEXAS

CERTIFICATE OF WATER/WASTEWATER SUPPLY

Underground Water
Conservation District

Date _____

- see attached

Date _____

Signature & Title of Authorized Agent

Other Proposed Domestic Water Supply (Please specify): water wells

Texas Commission on Environmental Quality

Figure: 30 TAC §230.3(c)

CERTIFICATION OF GROUNDWATER AVAILABILITY FOR PLATTING FORM

Use of this form: If required by a municipal authority pursuant to Texas Local Government Code, §212.0101, or a county authority pursuant to §232.0032, Texas Local Government Code, the plat applicant and the Texas licensed professional engineer or Texas licensed professional geoscientist shall use this form based upon the requirements of Title 30, TAC, Chapter 230 to certify that adequate groundwater is available under the land to be subdivided (if the source of water for the subdivision is groundwater under the subdivision) for any subdivision subject to platting under Texas Local Government Code, §212.004 and §232.001. The form and Chapter 230 do not replace state requirements applicable to public drinking water supply systems or the authority of counties or groundwater conservation districts under either Texas Water Code, §35.019 or Chapter 36.

Administrative Information (30 TAC §230.4)

1. Name of Proposed Subdivision: Stallion Meadows Estates, Phase 1

2. Any Previous Name Which Identifies the Tract of Land:

A subdivision of a 113.126 acre tract in the S.P.R.R. Co. Survey, Abstract No. 567
and the A. Johnson Survey, Abstract No. 1917 in Jack County, Texas.

3. Property Owner's Name(s): Stallion Meadows Estates, LLC

Address: 665 Simonds Road, Williamstown, Massachusetts 01267

Phone: (682) 472-0212

Fax: N/A

4. Plat Applicant's Name: Stallion Meadows Estates, LLC

Address: 665 Simonds Road, Williamstown, Massachusetts 01267

Phone: (682) 472-0212

Fax: N/A

5. Licensed Professional Engineer or Geoscientist:

Name: Brion C. Bannister, P.E.

Address: 220 La Costa Circle, Weatherford, Texas 76088

Phone: (405) 922-1577

Certificate Number: TX #80563

6. Location and Property Description of Proposed Subdivision:

Located on Patton Road and consisting of 113.126 acre tract in the S.P.R.R. Co. Survey,
Abstract No. 567 and the A. Johnson Survey, Abstract No. 1917 in Jack County, Texas.

7. Tax Assessor Parcel Number(s).

Book: S.P.R.R. Co. Survey A. Johnson Survey

Map: Abstract No. 567 Abstract No. 1917

Parcel: Lots 1-20

Proposed Subdivision Information (30 TAC §230.5)

8. Purpose of Proposed Subdivision (single family/multi-family
residential, non-residential, commercial): Single family

9. Size of Proposed Subdivision (acres): 113.126 acres

10. Number of Proposed Lots: 20

11. Average Size of Proposed Lots (acres): 5.66 acres

12. Anticipated Method of Water Distribution.

Expansion of Existing Public Water Supply System? Yes ☒ No

New (Proposed) Public Water Supply System? Yes ☒ No

Individual Water Wells to Serve Individual Lots? ☒ Yes No

Combination of Methods? Yes ☒ No

Description (if needed):

13. Additional Information (if required by the municipal or county
authority):

Note: If public water supply system is anticipated, written application for service to existing water
providers within a 1/2-mile radius should be attached to this form (30 TAC §230.5(f) of this title).

Projected Water Demand Estimate (30 TAC §230.6)

14. Residential Water Demand Estimate at Full Build Out

(includes both single family and multi-family residential).

Number of Proposed Housing Units (single and multi-family): 20

Average Number of Persons per Housing Unit: 2.74

Gallons of Water Required per Person per Day: 90.00

Water Demand per Housing Unit per Year (acre feet/year): 0.28

Total Expected Residential Water Demand per Year (acre feet/year): 5.6

15. Non-residential Water Demand Estimate at Full Build Out. None

Type(s) of Non-residential Water Uses: N/A

Water Demand per Type per Year (acre feet/year): 0.00

16. Total Water Demand Estimate at Full Build Out (acre feet/year): 5.6

17. Sources of Information Used for Demand Estimates:

Texas Water Development Board & U.S. Census Bureau

General Groundwater Resource Information (30 TAC §230.7)

18. Identify and describe, using Texas Water Development Board names, the aquifer(s) which underlies the proposed subdivision:

Trinity

Note: Users may refer to the most recent State Water Plan to obtain general information pertaining to the state's aquifers. The State Water Plan is available on the Texas Water Development Board's Internet website at: www.twdb.state.tx.us

Obtaining Site-Specific Groundwater Data (30 TAC §230.8)

19. Have all known existing, abandoned, and inoperative wells within the proposed subdivision been located, identified, and shown on the plat as required under §230.8(b) of this title? ☒ Yes ☐ No
20. Were the geologic and groundwater resource factors identified under §230.7(b) of this title considered in planning and designing the aquifer test required under §230.8(c) of this title? ☒ Yes ☐ No
21. Have test and observation wells been located, drilled, logged, completed, developed, and shown on the plat as required by §230.8(c)(1) - (4) of this title? ☒ Yes ☐ No
22. Have all reasonable precautions been taken to ensure that contaminants do not reach the subsurface environment and that undesirable groundwater has been confined to the zone(s) of origin (§230.8(c)(5) of this title)? ☒ Yes ☐ No
23. Has an aquifer test been conducted which meets the requirements of §230.8(c)(1) and (6) of this title? ☒ Yes ☐ No
24. Were existing wells or previous aquifer test data used? Yes ☒ No
25. If yes, did they meet the requirements of §230.8(c)(7) of this title? Yes ☐ No ☒ N/A
26. Were additional observation wells or aquifer testing utilized? Yes ☒ No

Note: If expansion of an existing public water supply system or a new public water supply system is the anticipated method of water distribution for the proposed subdivision, site-specific groundwater data shall be developed under the requirements of 30 TAC, Chapter 290, Subchapter D of this title (relating to Rules and Regulations for Public Water Systems) and the applicable information and correspondence developed in meeting those requirements shall be attached to this form pursuant to §230.8(a) of this title.

Determination of Groundwater Quality (30 TAC §230.9)

27. Have water quality samples been collected as required by §230.9 of this title? ☒ Yes ☐ No
28. Has a water quality analysis been performed which meets the requirements of §230.9 of this title? ☒ Yes ☐ No

Determination of Groundwater Availability (30 TAC §230.10)

29. Have the aquifer parameters required by §230.10(c) of this title been determined? ☒ Yes ☐ No
30. If so, provide the aquifer parameters as determined.
- Rate of yield and drawdown: 12 GPM & 90.5 ft. of drawdown
- Specific capacity: 0.26 GPM/ft.
- Efficiency of the pumped well: 90%
- Transmissivity: 385 GPD/ft.
- Coefficient of storage: 0.037
- Hydraulic conductivity: 3.43 feet/day
- Were any recharge or barrier boundaries detected? Yes ☒ No
- If yes, please describe:

Thickness of aquifer(s):

31. Have time-drawdown determinations been calculated as required under §230.10(d)(1) of this title? ☒ Yes ☐ No
32. Have distance-drawdown determinations been calculated as required under §230.10(d)(2) of this title? ☒ Yes ☐ No
33. Have well interference determinations been made as required under §230.10(d)(3) of this title? ☒ Yes ☐ No
34. Has the anticipated method of water delivery, the annual

groundwater demand estimates at full build out, and
geologic and groundwater information been taken into
account in making these determinations?

☒ Yes ☐ No

35. Has the water quality analysis required under §230.9 of
this title been compared to primary and secondary public
drinking water standards as required under §230.10(e) of
this title?

☒ Yes ☐ No

Does the concentration of any analyzed constituent exceed
the standards?

Yes ☒ No

If yes, please list the constituent(s) and concentration measure(s) which
exceed standards:

Groundwater Availability and Usability Statements (30 TAC §230.11(a) and (b))

36. Drawdown of the aquifer at the pumped well(s) is estimated to be 94.7 feet over a 10-year
period and 99.2 feet over a 30-year period.

37. Drawdown of the aquifer at the property boundary is estimated to be 52.1 feet over a 10-
year period and 58.6 feet over a 30-year period.

38. The distance from the pumped well(s) to the outer edges of the
cone(s)-of-depression is estimated to be 3,400 feet over a 10-year period and 5,300 feet over a
30-year period.

39. The recommended minimum spacing limit between wells is 150 feet
with a recommended minimum well yield of 8.0 gallons per minute per well.

Bru
40. Available groundwater ☒ is ☐ is not (circle one) of sufficient quality to meet the intended use of the
platted subdivision.

41. The groundwater availability determination does not consider the following conditions
(identify any assumptions or uncertainties that are inherent in the groundwater availability
determination):

Certification of Groundwater Availability (30 TAC §230.11(c))

Must be signed by a Texas Licensed Professional Engineer or a Texas Licensed Professional Geoscientist.

42. I, Brion C. Bannister, P.E., Texas Licensed Professional

Engineer or ~~Texas Licensed Professional Geoscientist~~ (circle which applies), certificate number TX 80563, based on best professional judgment, current groundwater conditions, and the information developed and presented in this form, **certify that adequate groundwater is**

available from the underlying aquifer(s) to supply the anticipated use of the proposed subdivision.

Date: 3/24/23

(affix seal)

Brion C. Bannister, P.E.



Appendix F

CERTIFICATE OF SURVEYOR

THE STATE OF TEXAS §
 §
COUNTY OF JACK §

KNOW ALL MEN BY THESE PRESENT, that I, the undersigned, a Registered Professional / State Land Surveyor in the State of Texas, do hereby certify that this Plat complies with the survey related requirements of Texas law and of the Jack County Subdivision Regulations and I further certify that this plat is true and correctly made and is prepared from an actual survey of the property made under my supervision on the ground and that the corner monuments were properly placed under my supervision.

N. Z. Griffin
Registered Professional / State Land Surveyor

3-7-23
Date

License No. 6810

Seal:



Appendix G

CERTIFICATE OF ENGINEER

THE STATE OF TEXAS §
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COUNTY OF JACK §

KNOW ALL MEN BY THESE PRESENTS, that I, the undersigned, a Registered Professional Engineer in the State of Texas, hereby certify that this plat complies with the engineering related requirements of state law, and the Jack County Subdivision Regulations.


Registered Professional Engineer

3-9-23
Date

License No. 127255

Seal:



[NOTE: The engineer may be required to be present for questioning at the presentation of the plat to the Commissioners Court.]

Appendix H

CERTIFICATE OF ON-SITE SEWAGE FACILITY INSPECTOR'S APPROVAL

THE STATE OF TEXAS

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COUNTY OF JACK

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KNOW ALL MEN BY THESE PRESENTS, that I, the undersigned, a Licensed On-Site Sewage Facility Inspector in the State of Texas, hereby certify that I have inspected the On-Site Sewage Facilities for this plat, and the same complies with the related requirements of the Jack County Subdivision Regulations and the TCEQ.

Paul Hammer
On Site Inspector

3-29-23
Date

License No. 36200

Seal:

[NOTE: The inspector may be required to be present for questioning at the presentation of the plat to the Commissioners Court.]

Rebecca Grassl-Petersen
Registered Sanitarian II, #4024

Date: 12/29/2022

INVOICE for Payment

- Service Provided: General Proposed Subdivision Site/Soil Evaluation and Report for On-Site Sewage Facilities
- Site where service was provided: Stallion Meadows, North, Jack County, Texas
- Date of Service: 12/19/2022
- Service provided to: Monte Magness and/or Todd Cast

\$1,400.00-Balance Due

Payment due upon receipt

Please make check out to: GrassL Environmental, PLLC

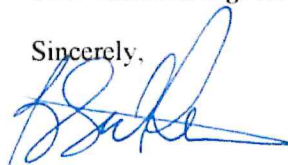
And mail to:

Becca Grassl-Petersen
1615 Lynnhaven Road
Fort Worth, TX 76103

Payment by Zelle is also accepted.

Your business is greatly appreciated!

Sincerely,



Becca Grassl-Petersen

Becca Grassl-Petersen, R.S II

Professional Sanitarian #4024

Site Evaluator #27616

1615 Lynnhaven Road

Fort Worth, TX. 76103

817.994.0095/beccagp9@gmail.com

Date: 12/29/2022

General Subdivision Site Evaluation

Introduction:

The purpose of this site evaluation at Stallion Meadows, North Subdivision in Jack County, Texas is to determine a general site/soil profile and recommendation of the type of Onsite Sewage Facility(ies) to serve new homesteads.

Date of Site Evaluation:

On 12/19/2022, an overall site evaluation was conducted by drilling 7 boreholes using a two-person gas powered auger.

Weather Conditions:

The weather conditions were cool and overcast, moderate to low winds out of the northwest and the temperature was 47degrees Fahrenheit.

General Topography:

Overall, slightly rolling terrain. Heavily wooded in some sections, scrub and prairie grasses. Creek and stock tank/pond.

Manmade Structures: Scattered buildings, deer blinds, etc. Any existing water wells may need to be properly abandoned. See permitting authority for details.

Flood Hazard: Overall flood hazards are low and does not exist in a FEMA floodplain. Lots to the south are possibly in the floodplain along the creek. Floodplain data will need to be shown on an individual site evaluation basis. C0475A-Zone X

Description of Boreholes (BH):

BH #1: 0-24" Red Clay; Lat: 33.010; Long: -98.022W

BH #2: 0-10" Red Clay Loam; 10"-24" Red Clay; Lat: 33.010; Long: -98.023W

BH #3: 0-24" Red Clay; Lat: 33.012; Long: -98.226W

BH #4: 0-12" Red Clay Loam; 12"-24" Red Clay; Lat: 33.012; Long: -98.021W

BH #5: 0-10" Sandy Loam, 10"-24" Red Clay w/mottling; Lat: 33.009; Long: -98.022W

BH #6: 0-12" Sandy Clay Loam; Lat: 33.007; Long: -98.021W

BH #7: 0-20" Sandy Clay Loam; 20"-36" Brown/Red Clay; Lat: 33.009 Long: -98.022W

Groundwater: Overall, no groundwater or mottling indicators were observed except in BH#5

Rock/Gravel Analysis: Rock and gravel were sparse or did not exist

Restrictive Horizon: Any borehole with clay, water indicators and/or rock.

Overall Site Suitability: Suitable for onsite sewage facilities.

Separation Requirements: Proposed individual lots are large enough to meet separation requirements determined by individual site evaluations preformed by a site evaluator or professional engineer as dictated by The State of Texas.

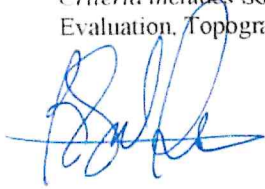
Overall Site Onsite Sewage Facility (OSSF) Recommendation:

Depending on State required individual onsite Site Evaluations and findings, any practical State and NSF approved Onsite Sewage Facility may be considered.

Individual Property Owner Requirements:

According to Title 30 TAC 285.30 Site Evaluation (a): "General Requirement. To document the soil and site conditions, a complete site evaluation shall be performed by either a site evaluator or professional engineer on every tract of land where an OSSF will be installed. (b)Site evaluation criteria: All aspects of the site evaluation shall be performed by either a site evaluator or a professional engineer according to this section. The information obtained during the site evaluation shall be used to determine the type and size of the OSSF."

Criteria includes Soil Analysis/Texture, Gravel Analysis, Restrictive Horizons Analysis, Groundwater Evaluation, Topography, Flood Hazard and Separation Requirements.




Becca Grassl-Petersen
Registered Sanitarian II #4024/Site Evaluator #27616



Appendix I

CERTIFICATE OF ROAD MAINTENANCE (When roads are to be maintained as Private Roads)

"In approving this plat by the Commissioners Court of Jack County, Texas, it is understood that all roads shown hereon are private roads and shall remain the property of the Owner/subdivider/developer and/or subsequent owners of the property. The construction, repair, and maintenance of these roads and any associated drainage improvements will be the responsibility of the Owner/subdivider/developer and/or subsequent owners of the subdivision and will not be the responsibility of Jack County."



Owner/subdivider/developer or Representative

6/6/23

Date

Jack County Tax Office
Sharon Robinson, PCC, CTOP
100 N. Main Street, Ste 209
Jacksboro, TX 76458
(940)567-2352

Duplicate Receipt
This is a receipt. Do not pay.

PAID BY

STALLION MEADOWS ESTATES LLC
665 SIMONDS ROAD
WILLIAMSTOWN MA 01267

Property owner as of payment:
R977618 - STALLION MEADOWS ESTATES LLC

Current Statement #: 5780

Posting ID: 901172023111804

Owner Interest: 1.000000 Agent:

Property Information	
Parcel ID/Sequence: 6141/1 Account: 21917-00044-00100-000000 Category Code: D1/D2 Acres: 6.7000 MH Label Number: MH Serial Number:	Legal: AB 1917 A JOHNSON Situs: DPS TOWER RD

Location Code: 241 Jurs - 00 01 32 60 61 65

Year	Jurisdiction	Tax Rate	Tax Value	Payment Type	Tax	Dis/Pen/Other	Total Amount
2022	JACK COUNTY	0.40463500	\$3,150	Full Payment	\$12.75	\$0.00	\$12.75
2022	PERRIN-WHITT C.I.S.D. M&O	0.85460000	\$3,150	Full Payment	\$26.92	\$0.00	\$26.92
2022	PERRIN-WHITT C.I.S.D. I&S	0.14900000	\$3,150	Full Payment	\$4.69	\$0.00	\$4.69
2022	E. KEECHI WD JACK CO	0.01402100	\$3,150	Full Payment	\$0.44	\$0.00	\$0.44
2022	JACK CO HOSPITAL DIST	0.30900000	\$3,150	Full Payment	\$9.73	\$0.00	\$9.73
2022	JACK COUNTY SPECIAL	0.10752000	\$3,150	Full Payment	\$3.39	\$0.00	\$3.39
2022 Year Totals:					\$57.92	\$0.00	\$57.92
Parcel 6141 Totals:					\$57.92	\$0.00	\$57.92
Payment Ref Totals:					\$57.92	\$0.00	\$57.92

DPI Year/Month: 202301

Clerk: jaccthou

Effective Payment Date: 01/17/2023

Payment Type: Check

Deposit Date: 01/17/2023

Payment Ref No: 1027

Drawer User/Number: Tammy -17 -1369

Jack County Tax Office
Sharon Robinson, PCC, CTOP
100 N. Main Street, Ste 209
Jacksboro, TX 76458
(940)567-2352

Duplicate Receipt
This is a receipt. Do not pay.

PAID BY

STALLION MEADOWS ESTATES LLC
665 SIMONDS ROAD
WILLIAMSTOWN MA 01267

Property owner as of payment: **R977618 - STALLION MEADOWS ESTATES LLC** Current Statement #: 5780 Posting ID: 901172023111804
Owner Interest: 1.000000 Agent:

Property Information	
Parcel ID/Sequence: 6142/1 Account: 21822-00044-00100-000000 Category Code: D1 Acres: 42.1500 MH Label Number: MH Serial Number: Location Code: 241 Jurs - 00 01 32 60 61 65	Legal: AB 1822 M V BRUMBELOW Situs: DPS TOWER RD

Year	Jurisdiction	Tax Rate	Tax Value	Payment Type	Tax	Dis/Pen/Other	Total Amount
2022	JACK COUNTY	0.40463500	\$3,030	Full Payment	\$12.26	\$0.00	\$12.26
2022	PERRIN-WHITT C.I.S.D. M&O	0.85460000	\$3,030	Full Payment	\$25.89	\$0.00	\$25.89
2022	PERRIN-WHITT C.I.S.D. I&S	0.14900000	\$3,030	Full Payment	\$4.51	\$0.00	\$4.51
2022	E. KEECHI WD JACK CO	0.01402100	\$3,030	Full Payment	\$0.42	\$0.00	\$0.42
2022	JACK CO HOSPITAL DIST	0.30900000	\$3,030	Full Payment	\$9.36	\$0.00	\$9.36
2022	JACK COUNTY SPECIAL	0.10752000	\$3,030	Full Payment	\$3.26	\$0.00	\$3.26
2022 Year Totals:					\$55.70	\$0.00	\$55.70
Parcel 6142 Totals:					\$55.70	\$0.00	\$55.70
Payment Ref Totals:					\$55.70	\$0.00	\$55.70

DPI Year/Month: 202301

Clerk: jaccthou

Effective Payment Date: 01/17/2023

Payment Type: Check

Deposit Date: 01/17/2023

Payment Ref No: 1027

Drawer User/Number: Tammy -17 -1369

Appendix L

JACK COUNTY PERMIT TO CONSTRUCT DRIVEWAY WITHIN COUNTY ROAD RIGHT-OF-WAY

Applicant: Stallion Meadows Estates, LLC

County Road Name DPS Tower Road

Address: 1150 DPS Tower Road Permit # _____

Perrin, TX 76486 Phone No. (214) 674-8303

I, Commissioner Kenny Salazar of Precinct # 2 Jack County, Texas, authorize Stallion Meadows Estates, LLC, hereinafter called the Grantee, to (re)construct an access driveway on the County road right-of way abutting County Road DPS Tower Road in Jack County, Texas, located at OAK VIEW DRIVE;

SUBJECT TO THE FOLLOWING:

1. The Grantee is responsible for the culvert costs and installation.
2. Design of facilities shall be as shown on the sketch on page 2.
3. All construction and materials shall be subject to inspection and approval by the County.
4. The County reserves the right to require any changes, maintenance, or repairs as may be necessary to provide protection of life or property on or adjacent to the County road. Changes in design will be made only with approval of the County.
5. The Grantee shall hold harmless the County and its duly appointed agents and employees against any action for personal injury or property damage sustained by reason of the exercise of this permit.
6. The Grantee shall not erect any sign on, or extending over, any portion of the County road right-of-way.
7. Vehicle service fixtures such as fuel pumps, fuel tanks, vendor stands, etc., shall be located at least 12 (twelve) feet from the right-of-way line to ensure that vehicles being serviced from these fixtures will be off the County road.
8. Entrances must be constructed in such a way as to keep obstructions from being present in the right-of-way.

9. Mail boxes must be mounted on break away stands and be located so that boxes may be serviced and used from off the pavement.
10. This permit will become null and void if the above referenced driveway facilities are not constructed within six (6) months from the issuance date of this permit.
11. The Grantee will contact the Court's representative _____ at telephone number (325) _____ at least twenty-four (24) hours prior to beginning construction which is authorized by this permit.

DATE OF ISSUANCE: _____

ROAD ADMINISTRATOR: _____

The undersigned hereby agrees to comply with the terms and conditions set forth in this permit for construction of an access driveway on the County road right-of-way.

PRINTED NAME: Todd F. Cast

SIGNATURE: Todd F. Cast

DATE: June 6, 2023

SKETCH OF INSTALLATION

Appendix M

NOTICE OF PROPOSED UTILITY LINE INSTALLATION JACK COUNTY RIGHT OF WAY AND PERMIT

TO: Commissioner Kenny Salazar
Precinct No. 2

Address 1150 DPS Tower Road
Perrin, TX 76486

Formal Notice is hereby given that Tri-County Electric COOP proposes to place a over head line within the right of way of County Road _____ as follows: (list location, length, general design, etc.)

Installation will begin on or after the 1st day of August, 2023.

The line will be constructed and maintained on the road right-of-way as directed by Jack County Commissioner Precinct No. 2.

The location and description of the proposed line is more fully shown on the attached drawings.

Applicant will ensure that traffic control measures complying with applicable portions of the Texas Manual of Uniform Traffic Control Devices will be installed and maintained during the installation.

If the proposed installation is a parallel installation, the installation shall be located _____ feet within the edge of the right-of-way and at least _____ feet in depth, unless otherwise approved by the County.

✓ The installation shall not damage any portion of the road and adequate provisions must be made to cause minimum inconvenience to traffic and adjacent property owners during installation.

OR

_____ The installation shall damage a portion of the road. Applicant will return the road to its pre-installation condition at Applicant's expense within _____ days of installation. During installation adequate provisions must be made to cause minimum inconvenience to traffic and adjacent property owners during installation.

Applicant agrees that any damages sustained to the line installed under this proposal as a result of road construction and/or maintenance, including but not limited to mowing, ditch cleaning, culvert repair or replacement, roadway excavation, and base work shall be the sole burden and expense of the owner/subdivider/developer of the utility line.

Applicant agrees to give Jack County Commissioner Precinct No. 2 fifteen (15) days prior notice of any routine or periodic maintenance which requires interruption of traffic and pruning of

trees within the road right-of way. County may provide specifications for the extent and methods governing trimming, cropping, tree balance, type of cuts, painting cuts, and clean up.


Applicant agrees that Jack County does not purport to grant any right, claim, title, or easement in or upon this road, and Applicant further agrees that Jack County may require owner/subdivider/developer to relocate line, subject to provisions of governing laws, upon the giving of 30 day's written notice.

In the event Applicant fails to comply with any of the requirements as set forth above, Jack County may take such action as it deems appropriate to compel compliance

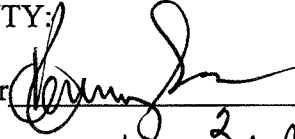
Additional Special Provisions:

By signing the below, I certify that I am Applicant or am authorized to represent Applicant and that Applicant agrees to be bound by the provisions of the Notice and Permit.

APPLICANT:

Name: Todd F. Cast 
Authorized agent: Monte Magness
Address 110 W. I20, #120, Weatherford, TX 76086
Phone (214) 674-8303

JACK COUNTY:

Commissioner 
Precinct No. 2
Address 134 W. Hackberry Street, Fort Worth, TX 76106
Phone 940-253-2500

200 Bailey Ranch Road
Aledo, TX 76008



Phone: 817.444.3201
tcectexas.com

Aledo ★ Azle ★ Granbury

Keller ★ Munday ★ Seymour

"Taking Care of our Member-Owners!"

March 2, 2023

Stallion Meadows Estates, LLC
665 Simonds Rd
Williamstown, MA 01267

To Whom it may concern:

Please be advised that Tri-County Electric Cooperative, Inc. will provide electrical service to the Stallion Meadows Subdivision, lots 1-60, in Jack County, Texas, as defined in the Cooperative's Line Extension Policy and upon receipt of right-of-way easement. There may be costs associated with installation of electrical facilities in the development.

If you require additional information, please let me know.

Sincerely,

A handwritten signature in blue ink that reads 'Brennan Sebastian'.

Brennan Sebastian
Director of Business Development & Right-of-Way
(O) 817-752-8235
bsebastian@tcectexas.com

Appendix Q

LIENHOLDER'S ACKNOWLEDGEMENT

I (We), (Name of Lienholder(s)) _____,

owner/subdivider/developer(s) and holder(s) of a lien(s) against the property described within the Revision to Plat, said lien(s) being evidenced by instrument of record in Volume _____, Page _____, of the Real Property Records of Jack County, Texas, do hereby in all things subordinate to said Revision of Plat said lien(s), and I (we) hereby confirm that I am (we are) the present owner/subdivider/developer(s) of said lien(s) and have not assigned the same nor any part thereof.

Plains Capital Bank
1100 E. US Hwy. 377
#101
Granbury, TX 76048
(817) 573-2342

T

C

Julie Rice
Bonnie Hansen
julie.rice@plainscapital.com

(Signature of Lienholder(s))

(Printed name(s))

For me by _____, 20____.

Bank cannot sign
notarize until
Volume and Page
have been
determined.

Notary Public in and for
the State of Texas



Perrin-Whitt Consolidated Independent School District

216 North Benson • Perrin, Texas 76486 • Phone (940) 798-3718 • Fax (940) 798-3071 • www.pwcisd.net

Feb. 6, 2023

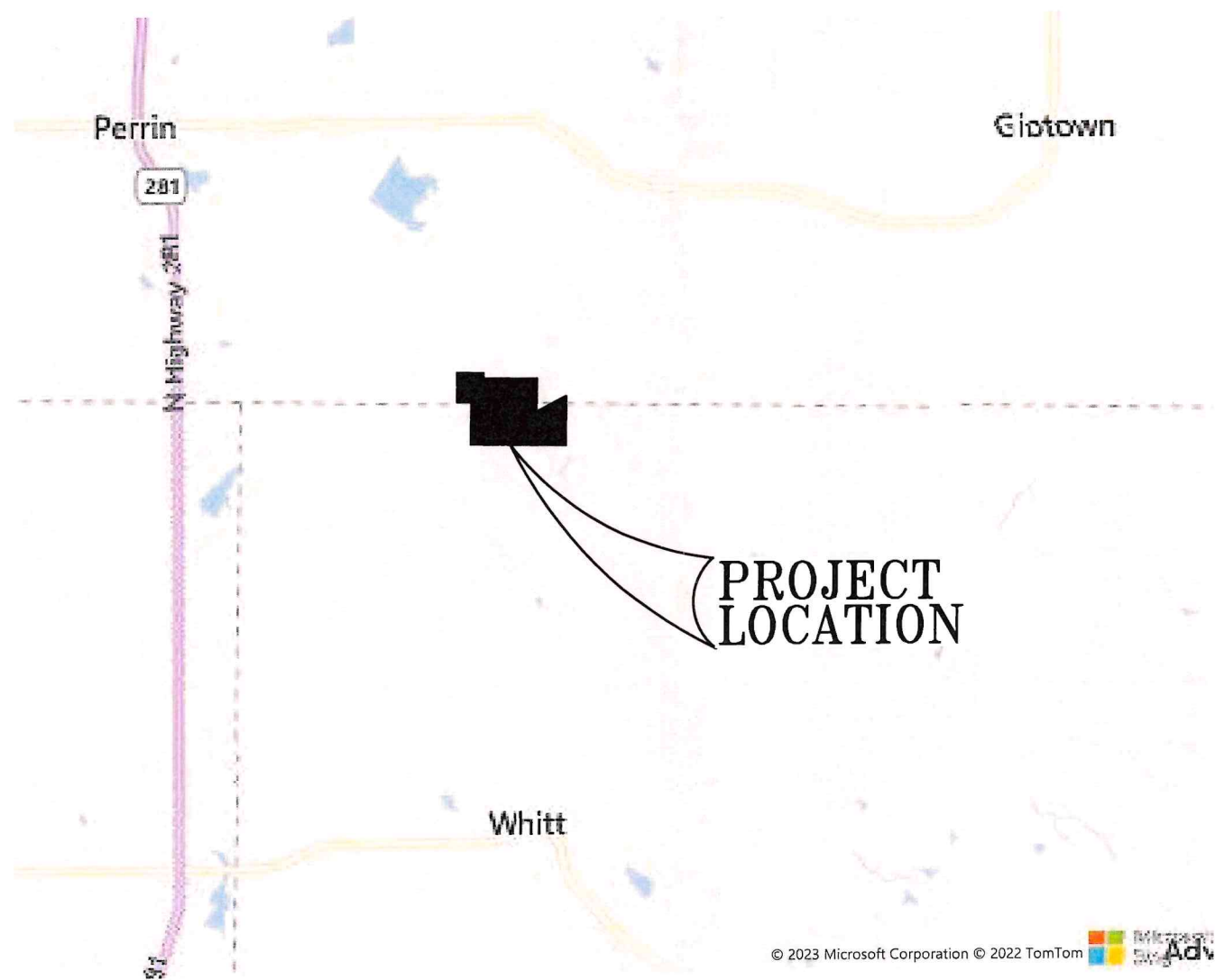
To Whom It May Concern;

Ref. Stallion Meadows,

Stallion Meadows is located off DPS Tower Road, Perrin, Texas. This property is within the Perrin-Whitt Consolidated Independent School District. As a result, residents of the addition would have enrollment privileges to Perrin-Whitt CISD as well as access to transportation services provided by the district. If you need additional information or have any questions feel free to contact me at 940-798-3718 ext. 223.

Cliff Gilmore, Supt.
Perrin-Whitt CISD

PAVING & DRAINAGE PLANS TO SERVE STALLION MEADOWS SOUTH A RESIDENTIAL SUBDIVISION WHITT, TEXAS



PROJECT
LOCATION

VICINITY MAP
N.T.S.

May 2023

Sheet List Table	
Sheet Number	Sheet Title
SOUTH	
--	COVER
--	SURVEY PLAT (1 OF 2)
--	SURVEY PLAT (2 OF 2)
1	PROPOSED DRAINAGE MAP CULVERT DESIGN
2	DRAINAGE CALCULATIONS
3	CULVERT PLAN & PROFILE (1 OF 3)
4	CULVERT PLAN & PROFILE (2 OF 3)
5	CULVERT PLAN & PROFILE (3 OF 3)
6	DRIVEWAY CULVERT & CHANNEL PLAN
7	PAVING GENERAL NOTES & TYPICAL SECTION DETAIL
8	OVERALL PAVING PLAN
9	STREET A BEG TO 11+50
10	STREET A 11+50 TO 23+50
11	STREET A 23+50 TO 36+00
12	STREET A 36+00 TO END
13	STREET B 0+00 TO END
14	STREET C 0+00 TO END
15	EROSION CONTROL PLAN
16	EROSION CONTROL DETAILS
17	STORM DRAIN DETAILS

OWNER
MONTE MAGNESS
STALLION MEADOWS ESTATES, LLC
665 SIMONDS RD.
WILLIAMSTOWN, MA 01267
682-472-0212
MMAGNESS@NLPLLC.COM

BHB BAIRD, HAMPTON & BROWN, INC.
ENGINEERING & SURVEYING
6300 Ridglea Place, Ste. 700, Ft. Worth, TX 76116
Tel: 817-338-1277 Fax: 817-338-9245 Web Site: www.bhbinc.com
BHB PROJECT #2022.182.000 TBPE Firm F-44 E-Mail: mail@bhbinc.com
TBPLS FIRM 10011300

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CHAD A. WALLACE,
P.E. TX No. 127255
IT IS NOT INTENDED
FOR CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.

5/26/23

5/25/2023 1:34PM E:\2022\000\000002022\162\000\01 Design & Drafting\02 Civil\01 CSD\182\over SOUTH.dwg SURVEY PLAT (2 OF 2)

METES AND BOUNDS DESCRIPTION:

BEING a tract of land within the M. Brunbelow Survey, Abstract No. 1822, A. Johnson Survey, Abstract No. 1917, and the E. Perry Survey, Abstract No. 2449, Jack County, Texas, and the M. Brunbelow Survey, Abstract No. 2290. E. Perry Survey, Abstract No. 2412, Parker County, Texas, and being all of Tracts One and Two, as described in the deed to Stallion Meadows Estates, LLC, as recorded in Document No. 20220002814, Official Public Records, Jack County, Texas (OPRJCT), and a portion of the A. Johnson Survey, Abstract No. 1917 between said Tract One and a tract of land described in the deed to Stallion Meadows Estates, LLC, as recorded in Document No. 20230000297, OPRJCT, being the agreed boundary as described in that certain Boundary Line Agreement recorded in Document No. 20220002818, OPRJCT, also being all of that tract of land described in the deed to Stallion Meadows Estates, LLC, as recorded in Document No. 20220002919, OPRJCT, and being more particularly described by metes and bounds as follows: (Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values).

BEGINNING at a 1/2 inch capped iron rod found for the southwest corner of said Tract One and an inner corner of those tracts of land described in the deed to L. Hardy, as recorded in Volume 208, Page 405, Official Public Records, Parker County, Texas (OPRPCT), also being the called southwest corner of said M. Brunbelow Survey, Abstract No. 2290;

THENCE North 00°33'41" East, with the west line of said Tract One, passing a 3/8 inch capped iron rod found marked "RPLS 1869/5627" at a distance of 358.05 feet, continuing for a total distance of 1,721.04 feet to a 3/8 inch capped iron rod found marked "RPLS 1869/5627" for an inner corner of this tract, the northeast corner of a tract of land described in the deed to Linda Sharp-Goorigian and Gary Goorigian, as recorded in Document No. 201712589, OPRPCT, and the southeast corner of said Tract Two;

THENCE North 89°53'00" West, with the common line of said Tract Two and said Goorigian tract, a distance of 562.08 feet to a 1/2 inch capped iron rod found marked "TEXAS SURVEYING" for the southwest corner of said Tract Two and the southeast corner of a tract of land described in the deed to Sharon and Ronald Sloan, as recorded in Volume 630, Page 877, OPRJCT;

THENCE North 00°14'32" East, passing a 5/8 inch iron rod found for the northwest corner of said Tract Two and the westernmost southwest corner of said Tract One at a distance of 948.62 feet, passing a 3/8 inch iron rod found for the northeast corner of said Sloan tract and the southeast corner of a tract of land described in the deed to Glenna Sansone, as recorded in Volume 761, Page 219, OPRJCT at a distance of 1,012.68 feet, continuing for a total distance of 1,169.93 feet to a 5/8 inch capped iron rod set marked "NATIVE CO., LLC" (IRS) for the northwest corner of said Tract One and the northwest corner of the A. Johnson Survey, Abstract No. 1917;

THENCE South 89°26'38" East, with the north line of said A. Johnson Survey, Abstract No. 1917, a distance of 1,050.00 feet to a 5/8 inch aluminum capped iron rod found marked "FARRIS" (FARRIS) for an ell corner of said Tract One;

THENCE South 00°14'19" West, over and across said A. Johnson Survey, Abstract No. 1917, a distance of 34.33 feet to a point in the approximate centerline of DPS Tower Road for the northwest corner of a tract of land described in the deed to Stallion Meadows Estates, LLC, as recorded in Document No. 20220002919, OPRJCT, from which a FARRIS for an inner corner of said Tract One and the southwest corner of said Stallion Meadows Estates tract (20220002919) bears South 00°14'19" West, a distance of 187.86 feet;

THENCE with the approximate centerline of DPS Tower Road and the north line of said Stallion Meadows Estates tract (20220002919), the following courses and distances:

South 85°55'26" East, a distance of 235.31 feet to a point for corner;

South 85°58'50" East, a distance of 110.85 feet to a point for corner;

North 84°28'14" East, a distance of 292.77 feet to a point for corner;

South 79°40'05" East, a distance of 112.31 feet to a point for corner;

South 62°46'13" East, a distance of 322.25 feet to a point for corner;

South 79°26'06" East, a distance of 195.27 feet to a point for corner for the east corner of said Stallion Meadows Estates tract (20220002919) and being in the north line of said Tract One and being the southernmost southeast corner of said Stallion Meadows Estates, LLC tract (2023-0000297), also being in the south line of said A. Johnson Survey, Abstract No. 1917 and the north line of M. Brunbelow Survey, Abstract No. 1822;

THENCE South 89°26'40" East, with the north line of said Tract One, a distance of 936.95 feet to a 5/8 inch iron rod found in the north side of DPS Tower Road for the northeast corner of said Tract One and the northwest corner of a tract of land described in the deed to D. Post and C. Henderson, as recorded in Volume 1028, Page 254, OPRJCT and being better described in Volume 129, Page 489, OPRPCT;

THENCE with the common line of said Tract One and said Post/Henderson tract, the following courses and distances:

South 00°33'11" West, a distance of 1,326.07 feet to a FARRIS;

North 62°17'47" East, a distance of 1,355.54 feet to a FARRIS;

South 00°33'39" West, a distance of 1,980.28 feet to a FARRIS for the southeast corner of said Tract One and being in the south line of the E. Perry Survey, Abstract No. 2412;

THENCE North 89°26'38" West, with the south line of said Tract One and the south lines of the E. Perry Survey, Abstract No. 2412 and the M. Brunbelow Survey, Abstract No. 2290, a distance of 3,840.27 feet to the POINT OF BEGINNING and containing 228.84 Acres of Land.



P.O. Box 2465 Stephenville, Tx 76401
zane@nativelandsurveying.com ~ 254-434-6695
TBPELS Firm No. 10194572

SURVEYOR'S CERTIFICATION

I, N. Zane Griffin, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby declare that this survey is true and correct and was prepared from an actual survey made under my supervision on the ground.

N. Zane Griffin, RPLS No. 6810
Date: February 28, 2023



B=B
BAIRD, HAMPTON & BROWN
engineering and surveying
6300 Ridgela Place, Suite 700 Fort Worth, TX 76116
mail@bhbc.com • 817.338.1277 • bhbc.com
TBPELS Firm #44, #1001300, #1001302, #10194146

NATIONAL LAND PARTNERS
STALLION MEADOWS

WHITT, TEXAS

SURVEY PLAT (2 OF 2)

NO.	DESCRIPTION	DATE

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PURPOSES. 5/26/23

PROJECT NUMBER: 2022.182.000
DATE: 4/6/23 | DRAWN BY: MD
DESIGN BY: MD | CHECKED BY: CW

SHEET

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6/5/2023 7:51 AM E:\2022\000\00002022.182.00001 Design & Drafting\02 Civil\01 C3D182 PRO drainage-SOUTH.dwg PROPOSED DRAINAGE MAP CULVERT DESIGN

LEGEND

MAJOR EX. CONTOUR --- 596 ---

MINOR EX. CONTOUR --- 5.6 ---

MAJOR PROP. CONTOUR [596]

MINOR PROP. CONTOUR [5.6]

DRAINAGE DIVIDE [---|---|---

DRAINAGE AREA (E-1) [E-1]

AREA (ACRES) [####]

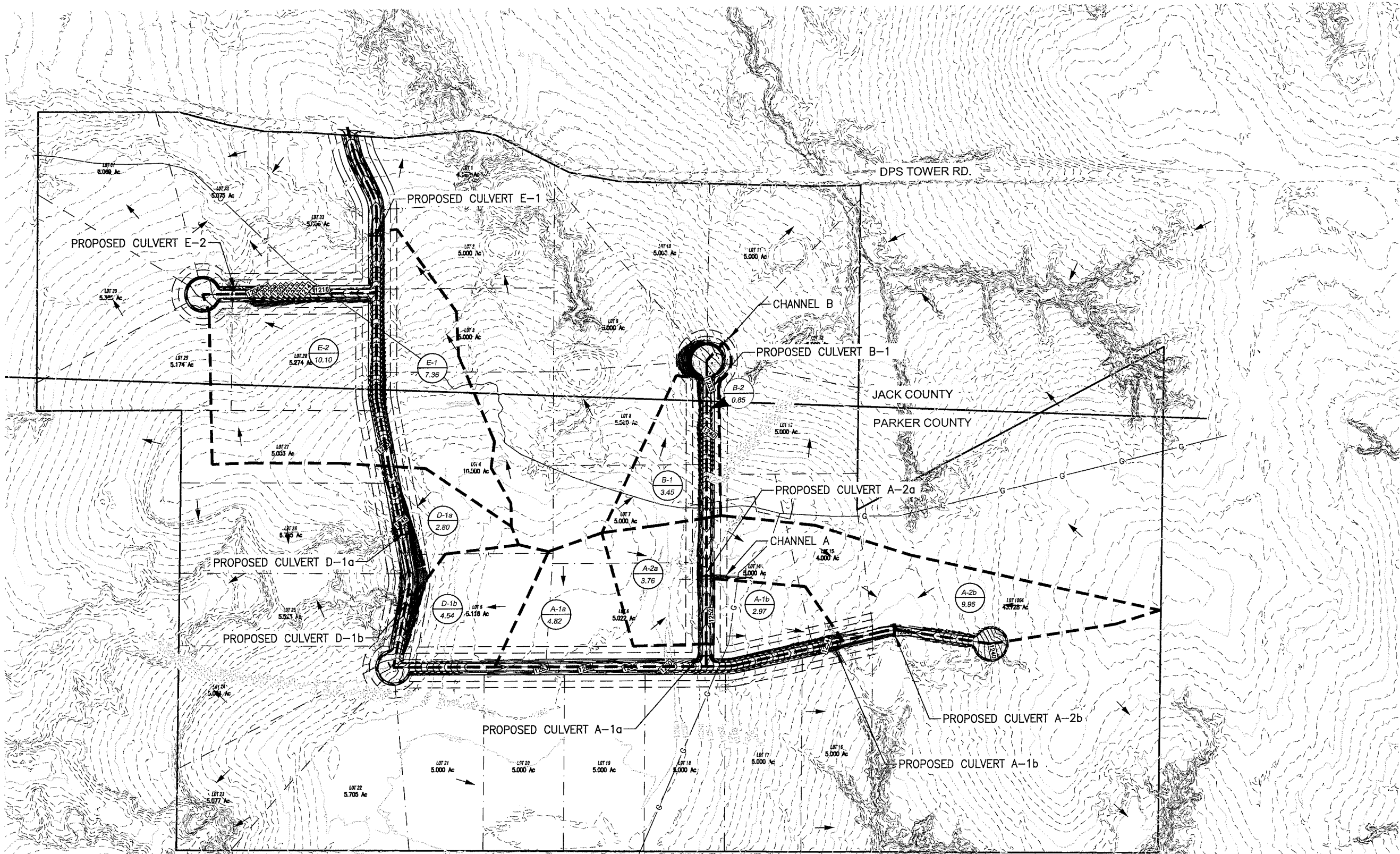
FLOW ARROW [--->]

N

W E S

200 100 0 200 400

GRAPHIC SCALE: 1" = 200' Feet



NATIONAL LAND PARTNERS
STALLION MEADOWS

WHITT, TEXAS

PROPOSED DRAINAGE MAP
CULVERT DESIGN

NO.	DESCRIPTION	DATE

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PROJECT NUMBER:	2022.182.000
DATE:	6/5/23
DESIGN BY:	MD
CHECKED BY:	CW

SHEET
1

B=B

BAIRD, HAMPTON & BROWN

engineering and surveying

6300 Ridges Place, Suite 700 Fort Worth, TX 76116
mail@bhbbs.com • 817.338.1277 • bbairecan
TBPELS Firm #44, #1001300, #1001302, #10184146

6/5/2023 7:45AM E:\2022-001\0000022\182\0001 Design & Drafting\02 Civil\01 CSD1182 PRO drainage-SOUTH.dwg DRAINAGE CALCULATIONS



BAIRD, HAMPTON & BROWN
engineering and surveying

6300 Ridgely Place, Suite 700 Fort Worth, TX 76116
na@bhbc.com • 817.338.1227 • bhbc.com
TRP&LS Firm #44, #1001300, #1001302, #10194146

NATIONAL LAND PARTNERS
STALLION MEADOWS

WHITT, TEXAS

DRAINAGE CALCULATIONS

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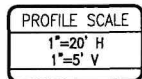
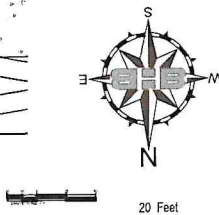
PROJECT NUMBER: 2022.182.0001
DATE: 6/5/23 DRAWN BY: MD
DESIGN BY: MD | CHECKED BY: CW

SHEET
2

Post-Development Time of Concentration																						
			TR-55																			
			Sheet Flow						Shallow Concentrated						Channelized							
				Length	n	P2	Slope	Time		Length	Slope	Equation	Velocity	Time		Length	Slope	Velocity	Time		Total Tc	Design Tc
Contributing Drainage Area(s)	Area	Flow Length		ft	in	%	min		ft	%	1=Paved 2=Unpaved	fps	min		ft	%	fps	min		min	min	
A-1a	4.82	966		100	0.13	3.6	1.30%	9.8		321	1.09%	2	2.12	2.5		545	4.90%	5	1.8		14.1	15.0
A-1b	2.97	515														515	4.90%	5	1.7		1.7	16.7
A-2a	3.76	1109		100	0.13	3.6	0.65%	12.9		927	4.23%	2	4.18	3.7		82	2.00%	5	0.3		16.9	16.9
A-2b	9.96	439		100	0.13	3.6	1.84%	8.5		257	3.81%	2	3.97	1.1		82	2.00%	5	0.3		14.4	15.0
B-1	3.45	511		100	0.13	3.6	2.73%	7.3		227	4.23%	2	4.18	0.9		411	4.50%	5	1.4		8.6	15.0
B-2	0.85	677														677	5.50%	5	2.3		2.3	17.3
D-1a	2.80	501		100	0.13	3.6	1.54%	9.1		317	4.09%	2	4.11	1.3		84	2.30%	5	0.3		10.7	15.0
D-1b	4.54	616		100	0.13	3.6	0.75%	12.2		444	3.32%	2	3.70	2.0		72	4.33%	5	0.2		14.4	15.0
E-1	7.36	1195		100	0.13	3.6	1.10%	10.5		739	4.23%	2	4.18	2.9		356	2.54%	5	1.2		14.6	15.0
E-2	10.10	916		100	0.13	3.6	3.79%	6.4		558	5.15%	2	4.61	2.0		258	2.78%	5	0.9		9.3	15.0

ISWM Technical Manual-Minimum time of concentration for Residential Developments = 15 minutes (Table 1.5 Time of Concentration)

PROPOSED - RATIONAL HYDROLOGIC CACULATIONS																					
2 yr.							10 yr							100 yr							
rainfall intensity calculations:							rainfall intensity calculations:							rainfall intensity calculations:							
I=b/(cod)^e							I=b/(cod)^e							I=b/(cod)^e							
b= 41.9788							b= 61.229							b= 88.8152							
d= 9.5748							d= 9.3062							d= 9.8236							
e= 0.7885							e= 0.7746							e= 0.7591							
	Area			Indre. CA	Total CA	T _c	Design	Storm	Indre.	Total	Design	Storm	Indre.	Total	Design	Storm	Indre.	Total	Comments		
		Total Area	Runoff			Total	Storm	Intensity	Discharge	Discharge	Storm	Intensity	Discharge	Discharge	Storm	Intensity	Discharge	Discharge			
Area No.	Acres	Acres	C			min	yr.	pith	cuffs	cuffs	yr.	pith	cuffs	cuffs	yr.	pith	cuffs	cuffs			
1	2		3	4	5	6	7	8	9	10	16	17	18	19	16	17	18	19			
A-1a	4.82	4.82	0.30	1.45	1.45	15.00	2	3.36	4.86	4.86	10	5.17	7.48	7.48	100	7.76	11.22	11.22	CULVERT A-1a		
A-1b	2.97	7.79	0.30	0.89	2.34	16.72	2	3.19	2.84	7.70	10	4.90	4.37	11.85	100	7.37	6.57	17.23	CULVERT A-1b		
A-2a	3.76	3.76	0.30	1.13	1.13	15.00	2	3.36	3.79	3.79	10	5.17	5.83	5.83	100	7.76	8.75	8.75	CULVERT A-2a		
A-2b	9.96	9.96	0.30	2.99	2.99	16.88	2	3.17	9.48	9.48	10	4.88	14.58	20.42	100	7.34	21.92	30.67	CULVERT A-2b		
B-1	3.45	3.45	0.30	1.04	1.04	15.00	2	3.36	3.48	3.48	10	5.17	5.35	5.35	100	7.76	8.03	8.03	CULVERT B-1		
B-2	0.85	0.85	0.30	0.26	0.26	17.26	2	3.14	0.80	4.28	10	4.83	1.23	6.58	100	7.26	1.85	9.88	CHANNEL B		
D-1a	2.80	2.80	0.30	0.84	0.84	15.00	2	3.36	2.82	2.82	10	5.17	4.34	4.34	100	7.76	6.52	6.52	CULVERT D-1a		
D-1b	4.54	4.54	0.30	1.36	1.36	15.00	2	3.36	4.58	4.58	10	5.17	7.04	7.04	100	7.76	10.56	10.56	CULVERT D-1b		
E-1	7.36	7.36	0.30	2.21	2.21	15.00	2	3.36	7.42	7.42	10	5.17	11.42	11.42	100	7.76	17.13	17.13	CULVERT E-1		
E-2	10.10	10.10	0.30	3.03	3.03	15.00	2	3.36	10.19	10.19	10	5.17	15.67	15.67	100	7.76	23.50	23.50	CULVERT E-2		



Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

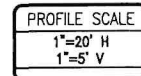
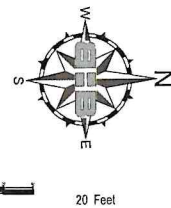
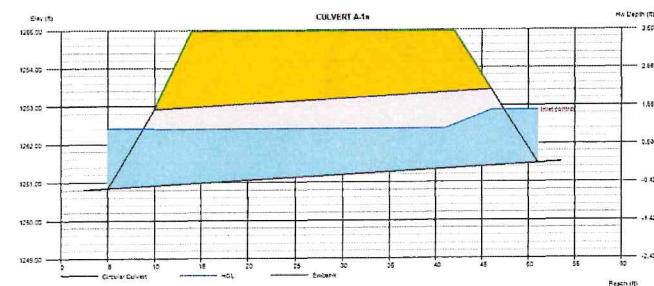
Friday, May 26 2023

Embankment	
Top Elevation (ft)	= 1254.96
Top Width (ft)	= 28.00
Crest Width (ft)	= 2.00

Calculations

Qmin (cfs)	= 7.48
Qmax (cfs)	= 7.48
Tailwater Elev (ft)	= (dc+D)/2

Highlighted	
Qtotal (cfs)	= 7.48
Qpipe (cfs)	= 7.48
Qovertop (cfs)	= 0.00
Veloc Dn (ft/s)	= 2.99
Veloc Up (ft/s)	= 4.94
HGL Dn (ft)	= 1252.41
HGL Up (ft)	= 1252.39
Hw Elev (ft)	= 1252.88
Hw/D (ft)	= 0.73
Flow Regime	= Inlet Control



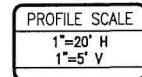
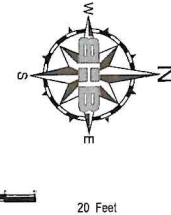
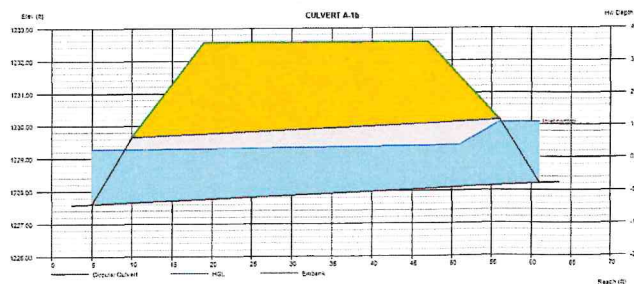
Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Friday, Jun 2 2023

Embankment	
Top Elevation (ft)	= 1232.56
Top Width (ft)	= 28.00
Crest Width (ft)	= 2.00

Calculations	
Qmin (cfs)	= 11.85
Qmax (cfs)	= 11.85
Tailwater Elev (ft)	= (dc+D)/2

Highlighted	
Qtotal (cfs)	= 11.85
Qpipe (cfs)	= 11.85
Qovertop (cfs)	= 0.00
Veloc Dn (ft/s)	= 4.35
Veloc Up (ft/s)	= 5.82
HGL Dn (ft)	= 1229.28
HGL Up (ft)	= 1229.40
Hw Elev (ft)	= 1230.09
Hw/D (ft)	= 0.97
Flow Regime	= Inlet Control



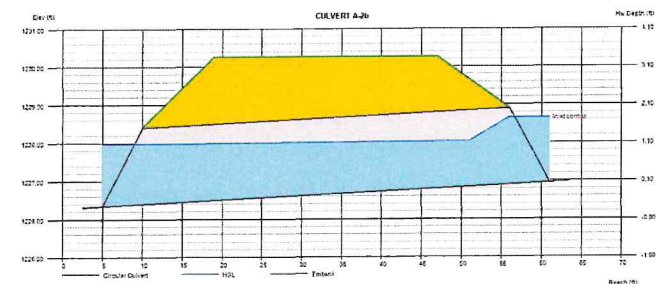
Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Thursday, Jun 8 2023

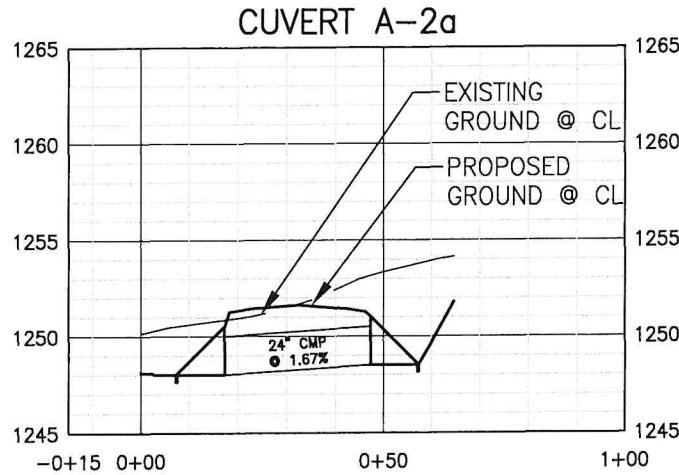
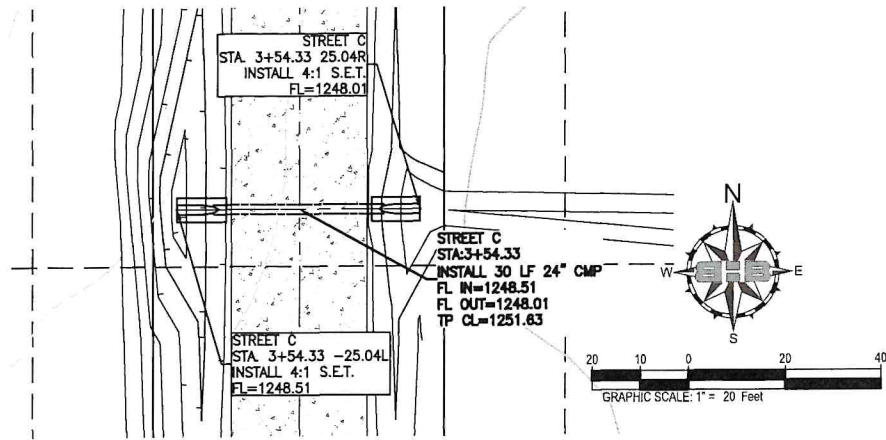
Embankment	
Top Elevation (ft)	= 1230.26
Top Width (ft)	= 28.00
Crest Width (ft)	= 2.00

Calculations	
Qmin (cfs)	= 20.42
Qmax (cfs)	= 20.42
Tailwater Elev (ft)	= (dc+D)/2

Highlighted	
Qtotal (cfs)	= 20.42
Qpipe (cfs)	= 20.42
Qovertop (cfs)	= 0.00
Veloc Dn (ft/s)	= 3.86
Veloc Up (ft/s)	= 5.50
HGL Dn (ft)	= 1227.97
HGL Up (ft)	= 1228.04
Hw Elev (ft)	= 1228.66
Hw/D (ft)	= 0.88
Flow Regime	= Inlet Control



5/8/2023 8:59AM E:\2022\000\000\0021.162\00001 Design & Drafting\02 Civil\01 C3D162 CULVERTPLAN-SOUTH.dwg CULVERT PLAN & PROFILE (2 OF 3)



PROFILE SCALE
1"=20' H
1"=5' V

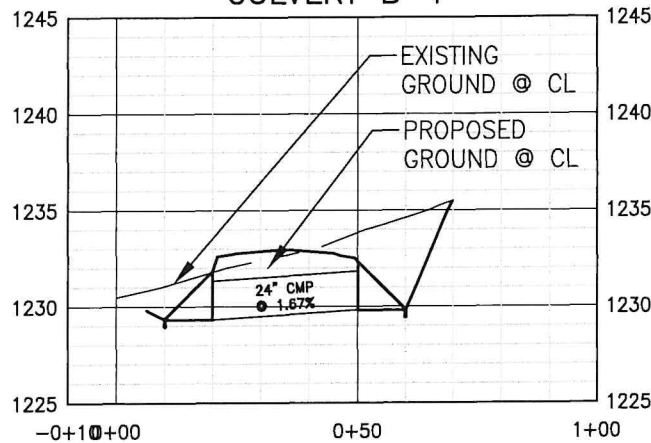
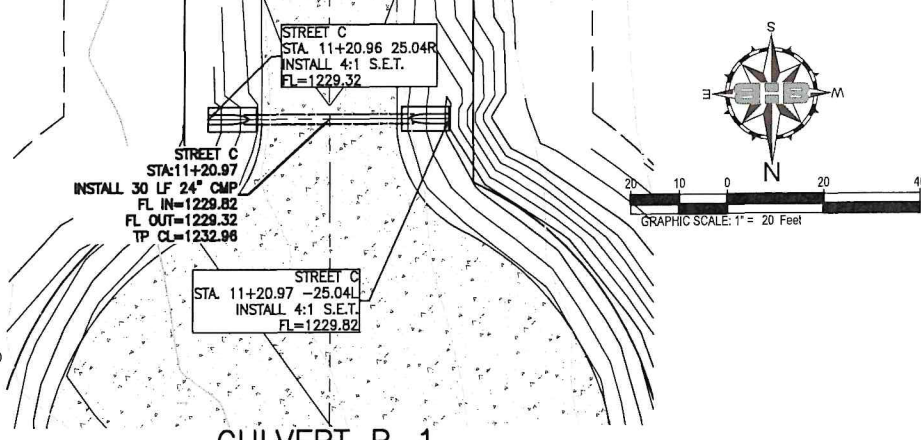
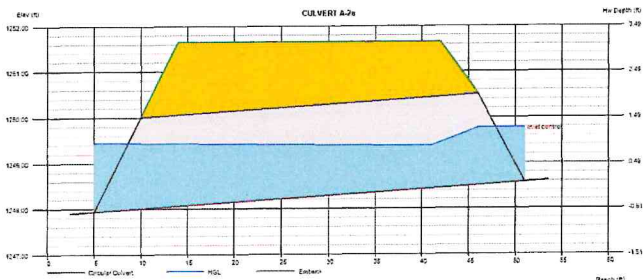
Culvert Report

Hydralflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Thursday, Jun 8 2023

CULVERT A-2a

Invert Elev Dn (ft)	= 1248.01	Calculations	
Pipe Length (ft)	= 36.00	Qmin (cfs)	= 5.83
Slope (%)	= 1.39	Qmax (cfs)	= 5.83
Invert Elev Up (ft)	= 1248.51	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 24.0		
Shape	= Circular	Highlighted	
Span (in)	= 24.0	Qtotal (cfs)	= 5.83
No. Barrels	= 1	Qpipe (cfs)	= 5.83
n-Value	= 0.022	Qovertop (cfs)	= 0.00
Culvert Type	= Circular Corrugate Metal Pipe	Veloc Dn (ft/s)	= 2.43
Culvert Entrance	= Mitered to slope (C)	Veloc Up (ft/s)	= 4.56
Coeff. K,M,c,Y,k	= 0.021, 1.33, 0.0463, 0.75, 0.7	HGL Dn (ft)	= 1249.44
		HGL Up (ft)	= 1249.36
Embankment		Hw Elev (ft)	= 1249.77
Top Elevation (ft)	= 1251.64	Hw/D (ft)	= 0.63
Top Width (ft)	= 28.00	Flow Regime	= Inlet Control
Crest Width (ft)	= 2.00		



PROFILE SCALE
1"=20' H
1"=5' V

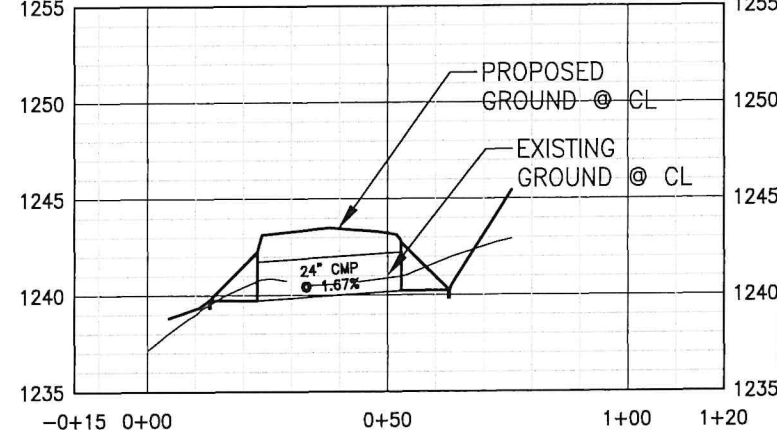
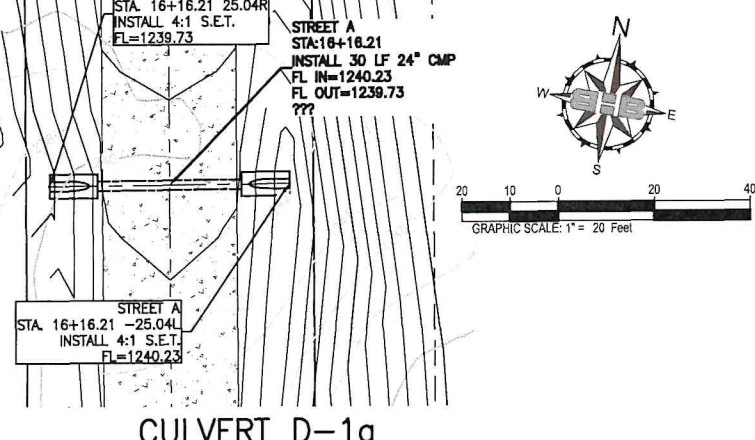
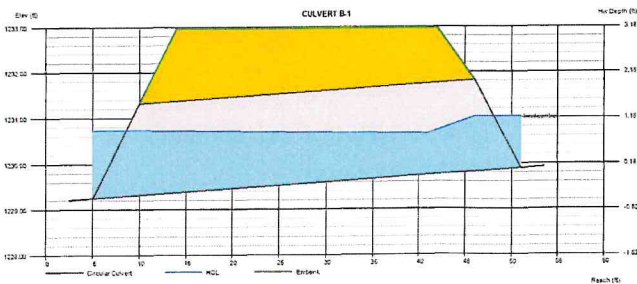
Culvert Report

Hydralflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Friday, Jun 2 2023

CULVERT B-1

Invert Elev Dn (ft)	= 1229.32	Calculations	
Pipe Length (ft)	= 36.00	Qmin (cfs)	= 5.35
Slope (%)	= 1.39	Qmax (cfs)	= 5.35
Invert Elev Up (ft)	= 1229.82	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 24.0		
Shape	= Circular	Highlighted	
Span (in)	= 24.0	Qtotal (cfs)	= 5.35
No. Barrels	= 1	Qpipe (cfs)	= 5.35
n-Value	= 0.022	Qovertop (cfs)	= 0.00
Culvert Type	= Circular Corrugate Metal Pipe	Veloc Dn (ft/s)	= 2.26
Culvert Entrance	= Mitered to slope (C)	Veloc Up (ft/s)	= 4.45
Coeff. K,M,c,Y,k	= 0.021, 1.33, 0.0463, 0.75, 0.7	HGL Dn (ft)	= 1230.73
		HGL Up (ft)	= 1230.64
Embankment		Hw Elev (ft)	= 1231.02
Top Elevation (ft)	= 1232.96	Hw/D (ft)	= 0.60
Top Width (ft)	= 28.00	Flow Regime	= Inlet Control
Crest Width (ft)	= 2.00		



PROFILE SCALE
1"=20' H
1"=5' V

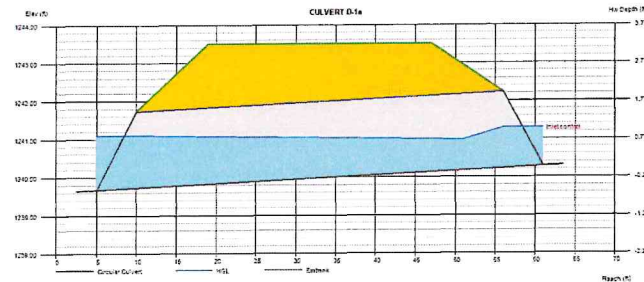
Culvert Report

Hydralflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Wednesday, Apr 12 2023

CULVERT D-1a

Invert Elev Dn (ft)	= 1239.73	Calculations	
Pipe Length (ft)	= 46.00	Qmin (cfs)	= 4.34
Slope (%)	= 1.09	Qmax (cfs)	= 4.34
Invert Elev Up (ft)	= 1240.23	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 24.0		
Shape	= Circular	Highlighted	
Span (in)	= 24.0	Qtotal (cfs)	= 4.34
No. Barrels	= 1	Qpipe (cfs)	= 4.34
n-Value	= 0.022	Qovertop (cfs)	= 0.00
Culvert Type	= Circular Corrugate Metal Pipe	Veloc Dn (ft/s)	= 1.90
Culvert Entrance	= Mitered to slope (C)	Veloc Up (ft/s)	= 4.18
Coeff. K,M,c,Y,k	= 0.021, 1.33, 0.0463, 0.75, 0.7	HGL Dn (ft)	= 1241.10
		HGL Up (ft)	= 1240.96
Embankment		Hw Elev (ft)	= 1241.29
Top Elevation (ft)	= 1243.50	Hw/D (ft)	= 0.53
Top Width (ft)	= 28.00	Flow Regime	= Inlet Control
Crest Width (ft)	= 3.00		



NATIONAL LAND PARTNERS
STALLION MEADOWS

WHITT, TEXAS

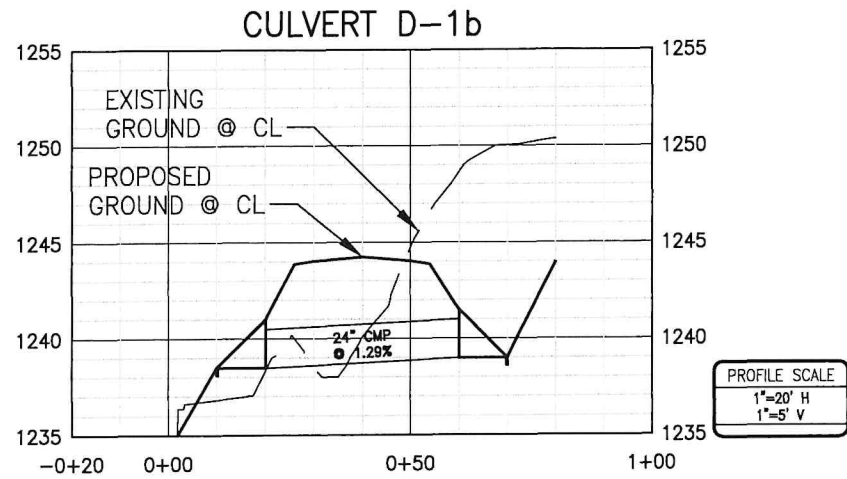
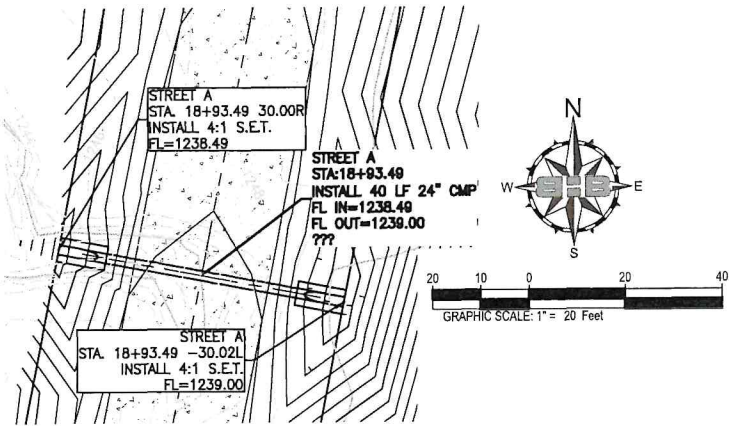
CULVERT PLAN & PROFILE (2 OF 3)

NO.	DESCRIPTION	DATE

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CHAD A. WALLACE,
P.E. Tx No. 127255
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PURPOSES. 6/8/23

PROJECT NUMBER:	2022.182.000
DATE:	6/2/23
DESIGN BY:	MD
CHECKED BY:	CW
DRAWN BY:	MD
SHEET	4

6/5/2023 7:46AM E:\2022\000\0002022\182\00001 Design & Drafting\02 Civil\01 C3D182 CULVERT PLAN-SOUTH.dwg CULVERT PLAN & PROFILE (3 OF 3)



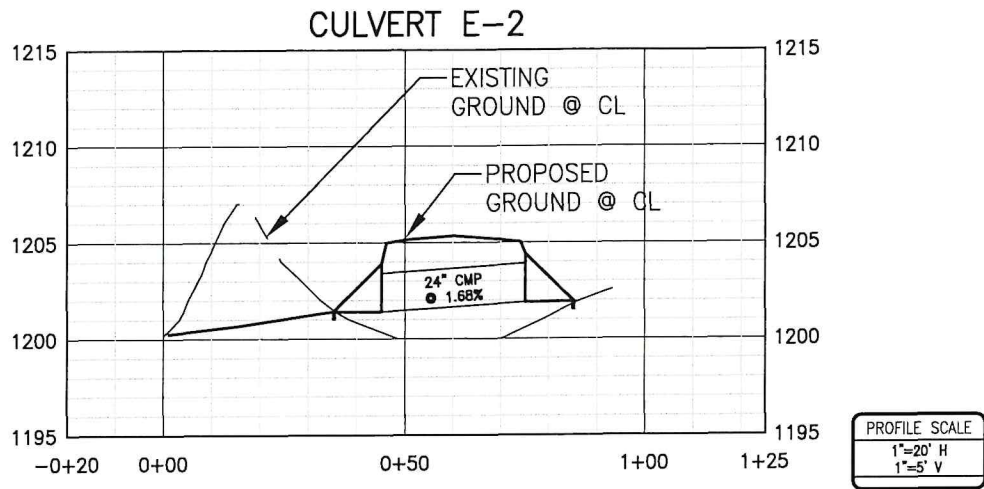
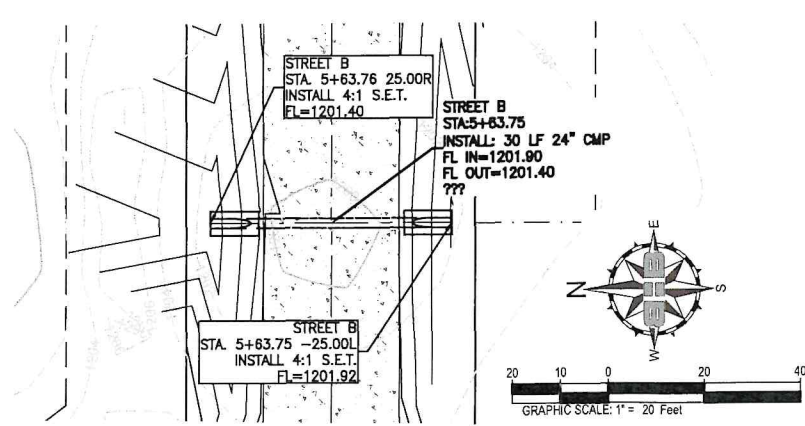
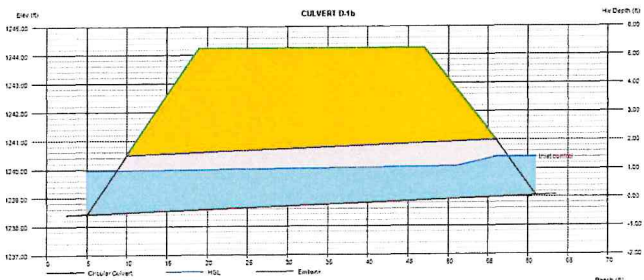
Culvert Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Thursday, Apr 13 2023

CULVERT D-1b

Invert Elev Dn (ft)	= 1238.49	Calculations	
Pipe Length (ft)	= 46.00	Qmin (cfs)	= 7.04
Slope (%)	= 1.11	Qmax (cfs)	= 7.04
Invert Elev Up (ft)	= 1239.00	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 24.0		
Shape	= Circular	Highlighted	
Span (in)	= 24.0	Qtotal (cfs)	= 7.04
No. Barrels	= 1	Qpipe (cfs)	= 7.04
n-Value	= 0.022	Qovertop (cfs)	= 0.00
Culvert Type	= Circular Corrugate Metal Pipe	Veloc Dn (ft/s)	= 2.84
Culvert Entrance	= Mitered to slope (C)	Veloc Up (ft/s)	= 4.00
Coeff. K,M,c,Y,k	= 0.021, 1.33, 0.0463, 0.75, 0.7	HGL Dn (ft)	= 1239.96
		HGL Up (ft)	= 1240.10
		Hw Elev (ft)	= 1240.40
		Hw/D (ft)	= 0.70
		Flow Regime	= Inlet Control
Embankment			
Top Elevation (ft)	= 1244.24		
Top Width (ft)	= 28.00		
Crest Width (ft)	= 2.00		



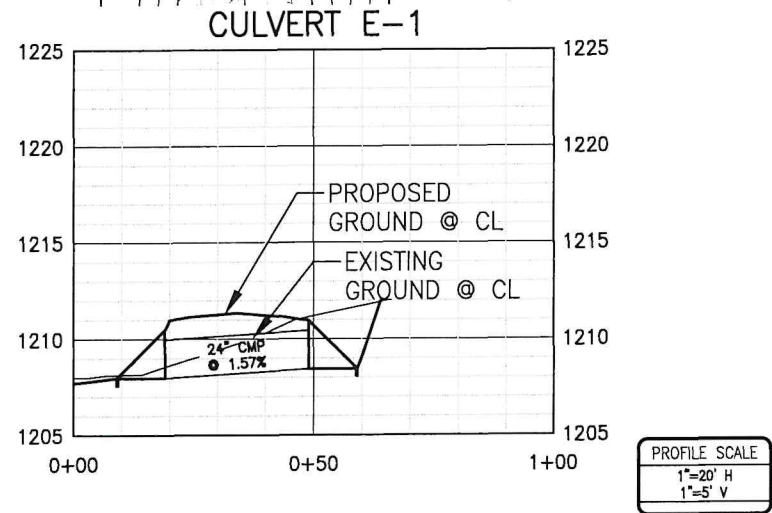
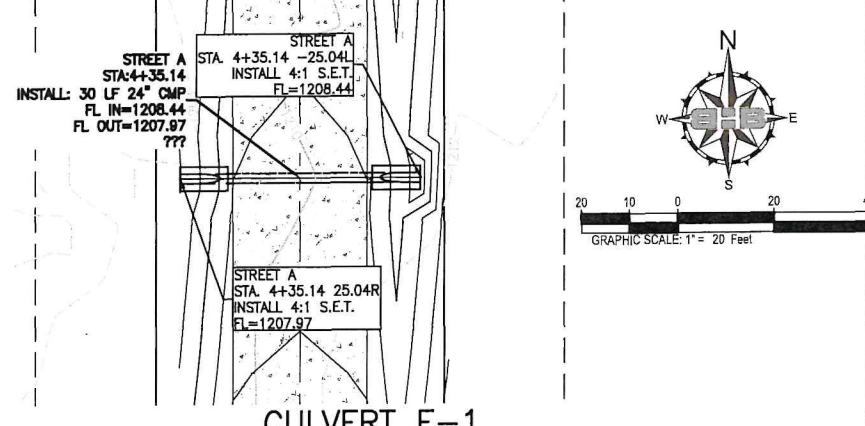
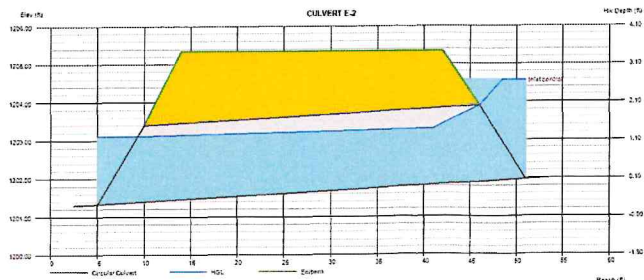
Culvert Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Wednesday, Apr 12 2023

CULVERT E-2

Invert Elev Dn (ft)	= 1201.40	Calculations	
Pipe Length (ft)	= 36.00	Qmin (cfs)	= 15.67
Slope (%)	= 1.39	Qmax (cfs)	= 15.67
Invert Elev Up (ft)	= 1201.90	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 24.0		
Shape	= Circular	Highlighted	
Span (in)	= 24.0	Qtotal (cfs)	= 15.67
No. Barrels	= 1	Qpipe (cfs)	= 15.67
n-Value	= 0.022	Qovertop (cfs)	= 0.00
Culvert Type	= Circular Corrugate Metal Pipe	Veloc Dn (ft/s)	= 5.47
Culvert Entrance	= Mitered to slope (C)	Veloc Up (ft/s)	= 6.54
Coeff. K,M,c,Y,k	= 0.021, 1.33, 0.0463, 0.75, 0.7	HGL Dn (ft)	= 1203.11
		HGL Up (ft)	= 1203.33
		Hw Elev (ft)	= 1204.57
		Hw/D (ft)	= 1.34
		Flow Regime	= Inlet Control
Embankment			
Top Elevation (ft)	= 1205.34		
Top Width (ft)	= 28.00		
Crest Width (ft)	= 2.00		



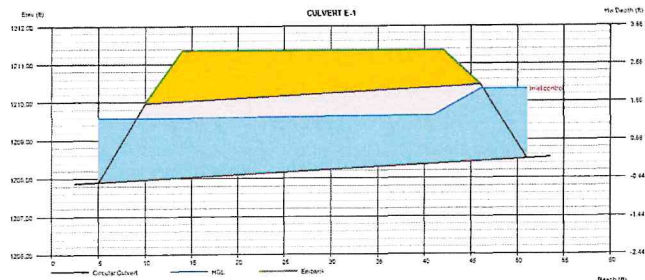
Culvert Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Wednesday, Apr 12 2023

CULVERT E-1

Invert Elev Dn (ft)	= 1207.97	Calculations	
Pipe Length (ft)	= 36.00	Qmin (cfs)	= 11.42
Slope (%)	= 1.31	Qmax (cfs)	= 11.42
Invert Elev Up (ft)	= 1208.44	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 24.0		
Shape	= Circular	Highlighted	
Span (in)	= 24.0	Qtotal (cfs)	= 11.42
No. Barrels	= 1	Qpipe (cfs)	= 11.42
n-Value	= 0.022	Qovertop (cfs)	= 0.00
Culvert Type	= Circular Corrugate Metal Pipe	Veloc Dn (ft/s)	= 4.22
Culvert Entrance	= Mitered to slope (C)	Veloc Up (ft/s)	= 5.74
Coeff. K,M,c,Y,k	= 0.021, 1.33, 0.0463, 0.75, 0.7	HGL Dn (ft)	= 1209.58
		HGL Up (ft)	= 1209.65
		Hw Elev (ft)	= 1210.33
		Hw/D (ft)	= 0.94
		Flow Regime	= Inlet Control
Embankment			
Top Elevation (ft)	= 1211.35		
Top Width (ft)	= 28.00		
Crest Width (ft)	= 2.00		



NATIONAL LAND PARTNERS
STALLION MEADOWS

WHITT, TEXAS

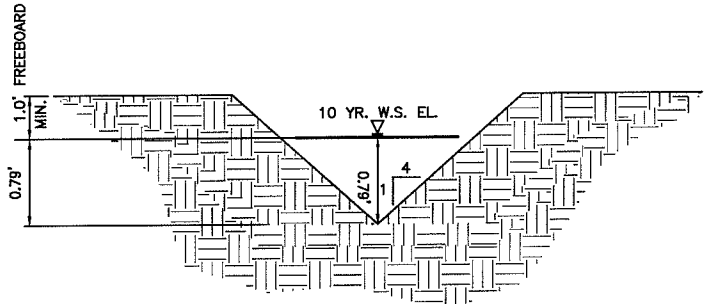
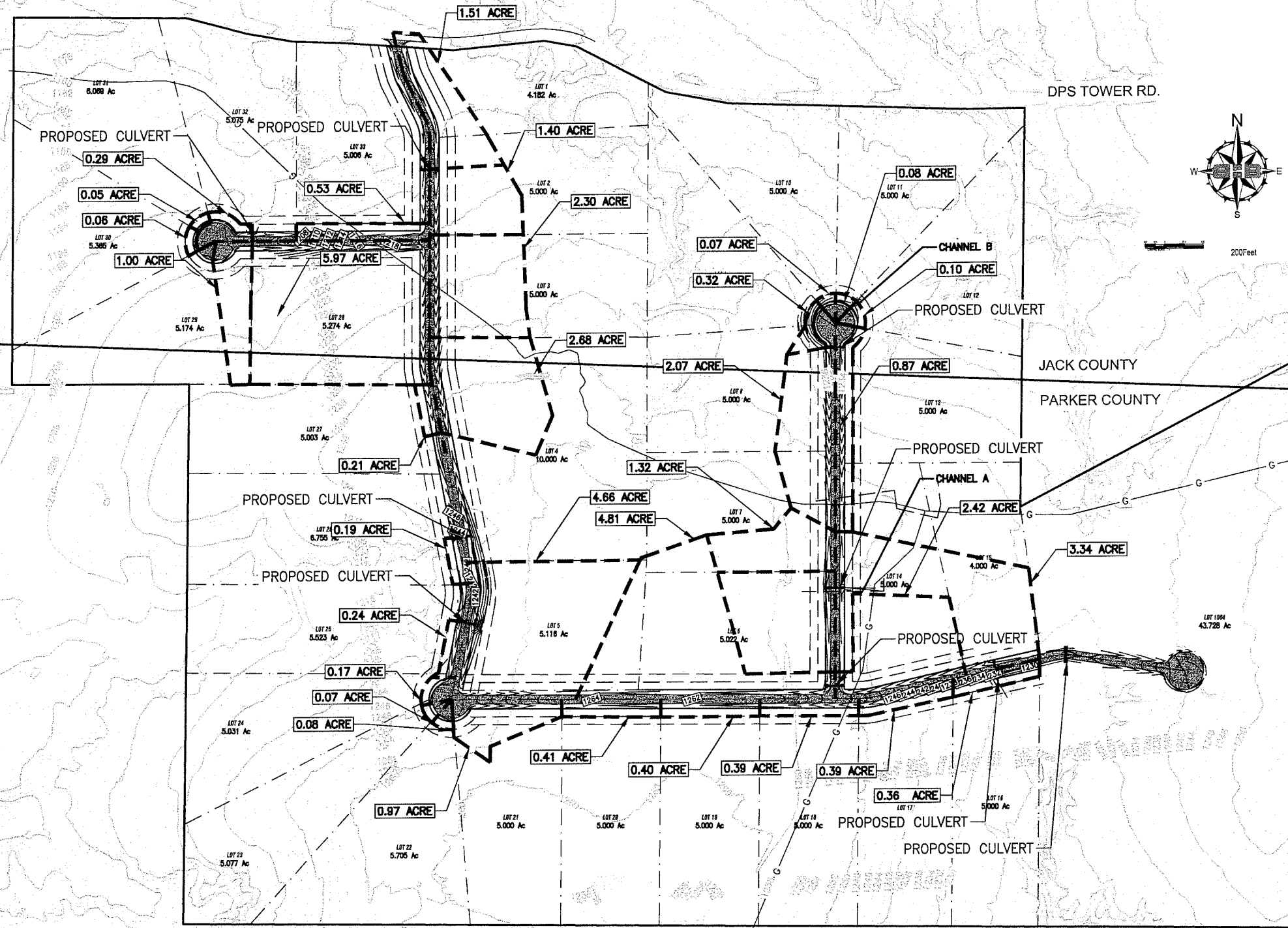
CULVERT PLAN & PROFILE (3 OF 3)

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CHAD A. WALLACE,
P.E. Tx No. 127255
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PURPOSES. 6/5/23

PROJECT NUMBER: 2022.182.000
DATE: 6/2/23 DRAWN BY: MD
DESIGN BY: MD CHECKED BY: CW
SHEET
5

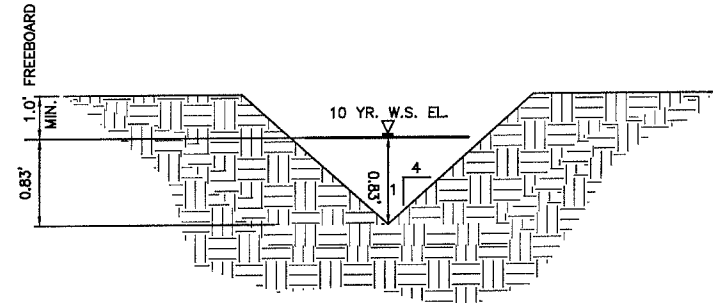
B=B
BAIRD, HAMPTON & BROWN
engineering and surveying
6300 Ridgeless Plaza, Suite 700 Fort Worth, TX 76116
ma@bhbinc.com • 817.338.1277 • bhbinc.com
TBPELS Firm #44, #1001300, #1001302, #10194146

6/5/2023 7:46AM E:\2022\000\000002\182.00001 Design & Drafting\02 Chm01 CSD\182DRIVEWAY SOUTH.dwg DRIVEWAY CULVERT & CHANNEL PLAN



CHANNEL A
SECTION
NTS

10 YR. MAX DISCHARGE(CFS) = 5.83
MANNINGS COEFFICIENT = 0.035 (GRASS)
CHANNEL SLOPE = 1.0%
SIDE SLOPES = 4:1 (GRASS)
BOTTOM WIDTH = 0.0 FT.
10 YR. FLOW MAX DEPTH = 0.79'
10 YR. MAX VELOCITY = 2.34fps



CHANNEL B
SECTION
NTS

10 YR. MAX DISCHARGE(CFS) = 6.83
MANNINGS COEFFICIENT = 0.035 (GRASS)
CHANNEL SLOPE = 6.2%
SIDE SLOPES = 4:1 (GRASS)
BOTTOM WIDTH = 0.0 FT.
10 YR. FLOW MAX DEPTH = 0.83'
10 YR. MAX VELOCITY = 2.39fps

PROPOSED REDISENTIAL CULVERT DRIVEWAY TABLE

LOT	Area (acres)	I (iph)	Q10 (cfs)	CMP size (Inches)	Area	# BARRELS	Velocity (ft/sec)
1	1.51	5.17	2.34	18	1.77	1	1.33
2	6.38	5.17	9.90	24	3.14	1	3.15
3	4.98	5.17	4.78	18	1.77	1	2.70
4	2.68	5.17	4.16	18	1.77	1	2.35
5	4.66	5.17	7.23	18	1.77	1	4.09
6	4.81	5.17	7.46	18	1.77	1	4.22
7	1.32	5.17	2.05	18	1.77	1	1.16
8	2.07	5.17	3.21	18	1.77	1	1.82
9	0.32	5.17	0.50	18	1.77	1	0.28
10	0.39	5.17	0.60	18	1.77	1	0.34
11	0.47	5.17	0.73	24	6.28	2	0.12
12	0.97	5.17	1.50	24	6.28	2	0.24
13	0.87	5.17	1.35	24	3.14	1	0.43
14	7.23	5.17	11.21	24	3.14	1	3.57
15	7.11	5.17	11.03	24	3.14	1	3.51

Driveway Culvert Assumptions:

- 1' minimum cover
- 1.0% minimum slope
- No overtopping driveway @ 10yr event
- CMP @ n=0.024

PROPOSED REDISENTIAL CULVERT DRIVEWAY TABLE

LOT	Area (acres)	I (iph)	Q10 (cfs)	CMP size (Inches)	Area	# BARRELS	Velocity (ft/sec)
16	1.95	5.17	4.23	18	1.77	1	2.39
17	1.59	5.17	2.47	18	1.77	1	1.40
18	1.20	5.17	1.86	18	1.77	1	1.05
19	0.81	5.17	2.22	18	1.77	1	1.26
20	0.41	5.17	0.64	18	1.77	1	0.36
21	0.97	5.17	1.50	18	1.77	1	0.85
22	1.05	5.17	1.63	18	1.77	1	0.92
23	1.12	5.17	1.74	18	1.77	1	0.98
24	1.29	5.17	2.00	18	1.77	1	1.13
25	1.53	5.17	2.37	18	1.77	1	1.34
26	0.19	5.17	0.29	18	1.77	1	0.17
27	0.21	5.17	0.33	18	1.77	1	0.18
28	6.18	5.17	9.59	18	1.77	1	5.42
29	1.00	5.17	1.55	18	1.77	1	0.88
30	0.06	5.17	0.09	18	1.77	1	0.05
31	0.11	5.17	0.17	18	1.77	1	0.10
32	0.40	5.17	0.62	18	1.77	1	0.35
33	0.53	5.17	0.82	18	1.77	1	0.47

NATIONAL LAND PARTNERS
STALLION MEADOWS

WHITT, TEXAS

DRIVEWAY CULVERT & CHANNEL
PLAN

NO.	DESCRIPTION	DATE

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PROJECT NUMBER: 2022.182.0001

DATE: 6/2/23 DRAWN BY: MD

DESIGN BY: MD CHECKED BY: CW

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BAIRD, HAMPTON & BROWN
engineering and surveying

6300 Riddle Place, Suite 700 Fort Worth, TX 76116
mail@bhb.com • 817.338.1277 • bhb.com
TBPELS Firm #44, #1001300, #1001302, #10194146



Road/Street Construction Standards

2.7.5 Paving and Material

- a. Plasticity index value shall be a minimum of 6 and a maximum of 45.
- b. Sub-grade shall be bladed to a depth of twelve inches (12")
- c. Sub-grade shall be compacted with a weighted roller
- d. Sub-grade shall be watered, bladed and rolled before any flexible base material is placed upon it, and
- e. Sub-grade shall be at least twenty-four feet (24') wide.

Paved streets must have a traveled road-bed width of not less than twenty feet (20') and be paved with (1) hot mix asphaltic or, (2) a rock base with a sealcoat surface treatment of, (3) 6" oil sand or, (4) a combination of these. One prime coat and one course penetration asphalt surface treatment or tack coat and hot mix must be

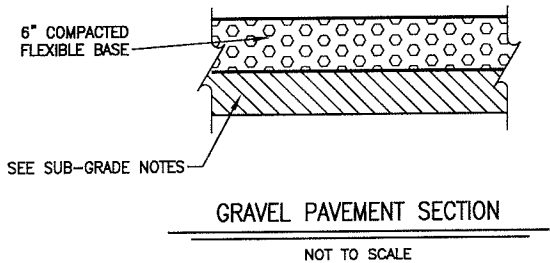
applied if favorable weather conditions exist. The paving material on paved streets must have a thickness of not less than two (2) inches of hot mix asphaltic compacted or one (1) course of sealcoat surface treatment. The sealcoat material or hot mix asphaltic material shall be approved by the Commissioner of the Precinct where the subdivision is located.

Appendix P

SUMMARY OF JACK COUNTY ROAD STANDARDS

Average Daily Traffic (one-way trips) **	0-1000	1001-2500	2501-5000	5001-15000
Functional Classification	Local Street	Minor Collector	Major Collector	Minor Arterial
Design Speed	25 mph	35 mph	45 mph	55 mph
Number of Lanes	2	2	2	4
ROW Width	60'	60'	70'	100'
Width of Traveled Way	20'	20'	28'	48'
Width of Shoulders	4'	5'	6'	8'
Minimum Centerline Radius	175'	375'	675'	975'
Minimum Tangent Length between Reverse Curves Or Compound Curves	75'	150'	300'	500'
Minimum Radius for Edge of Pavement At intersections	25'	25'	25'	25'
Intersecting Street Angle	80-100	80-100	80-100	80-100
Maximum Grade *	11%	10%	9%	8%
Minimum Street Centerline Offset at Adjacent Intersections	125'	125'	125'	125'
Minimum Stopping Sight Distance	175'	250'	350'	550'
Minimum Intersection Sight Distance	250'	350'	450'	550'
Steepest Ditch Fore Slope Grade	4:1	4:1	4:1	6:1
Flood Design (year event)	10	15	25	25

- Any deviation from these standards must be the subject of an approved variance. *
- Lots that are restricted by plat note to one single-family residence shall be presumed to generate 10 one-way trips per day. Average daily traffic for all other lots shall be determined by the precinct commissioner of their designee. Factors to consider are lot size, other plat restrictions and the potential for future development. **
- The entire side ditch shall be totally contained within the road right-of-way or a dedicated drainage easement. Guardrails shall be required wherever the ditch depth exceeds 8' from the edge of the shoulder to the bottom of the ditch on local streets, 6' from the edge of the shoulder to bottom of the ditch on minor collectors and 4' from the edge of the shoulder to the bottom of the ditch on all others larger than a minor collector.
- Any development generating more than 15000 average daily traffic counts will be designed according to TxDot standards.



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NATIONAL LAND PARTNERS
STALLION MEADOWS

WHITT, TEXAS

PAVING GENERAL NOTES &
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